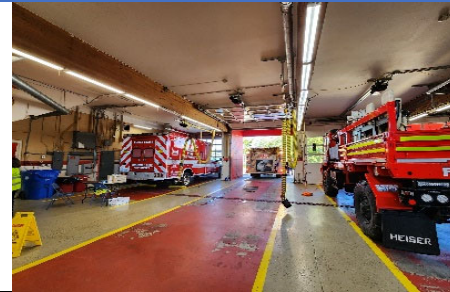


SECTION NO. 9 – CITY OF WESTPORT – REGIONAL FIRE AUTHORITY

SECTION 9.A.	PROPERTY PROFILE SHEET
SECTION 9.B.	NARRATIVE OF FINDINGS
SECTION 9.C.	PROJECT PROFILE SHEET
SECTION 9.D.	CONDITION ASSESSMENT CHECKLIST
SECTION 9.E.	PREVENTATIVE MAINTENANCE SCHEDULE
SECTION 9.F.	PREVENTATIVE MAINTENANCE BUDGET



SECTION 9.A - PROPERTY PROFILE SHEET - REGIONAL FIRE AUTHORITY



PARCEL NUMBER	105503100100	LAND SQUARE FOOTAGE	9,600
PARCEL ADDRESS	121 W SPOKANE AVE. WESTPORT, WA 98595	BUILDING SQUARE FOOTAGE	7,052
LEGAL DESCRIPTION	WESTHAVEN BEACH LOTS 1 & 2 BLK 31	YEAR BUILT	1972
OWNER	CITY OF WESTPORT	QUALITY	2.0 - AVERAGE
OWNER'S ADDRESS	PO BOX 505, WESTPORT, WA 98595	CONDITION	3.0 - AVERAGE
LAND USE (COUNTY)	67 - SERVICES - GOVERNMENTAL	CITY ZONING	MIXED-USE TOURIST COMMERCIAL 2
APPRAISED BUILDING VALUE	\$821,242	PLAT NAME	WESTPORT BEACH
APPRAISED LAND VALUE	\$63,840	PLAT NUMBER	1055
TOTAL APPRAISAL	\$885,082	CRITICAL AQUIFER RECHARGE AREA	NO
APPRAISAL YEAR	2023	IN SPECIAL FLOOD HAZARD AREA	NO
DISTRICT	WE172 H2 - WE172 H2	FEMA FLOOD ZONE	NO
STRUCTURE AREA, SF	7,052	LANDSLIDE HAZARDS	NO
TOWNSHIP	16N	LIQUEFACTION	MODERATE TO HIGH
RANGE	12W	MINERAL LANDS	NO
SECTION	12	NATIONAL EARTHQUAKE HAZARD REDUCTION PROGRAM SITE CLASSIFICATION	SITE CLASS C TO D
LATITUDE	46.88931	NATIONAL WETLANDS INVENTORY - WETLANDS	NONE
LONGITUDE	-124.10511	PRIORITY HABITAT & SPECIES	NONE
OCCUPANCY NAME	FIRE STATION	TSUNAMI HAZARDS	YES

SECTION 9.B – CITY OF WESTPORT - REGIONAL FIRE AUTHORITY NARRATIVE OF FINDINGS



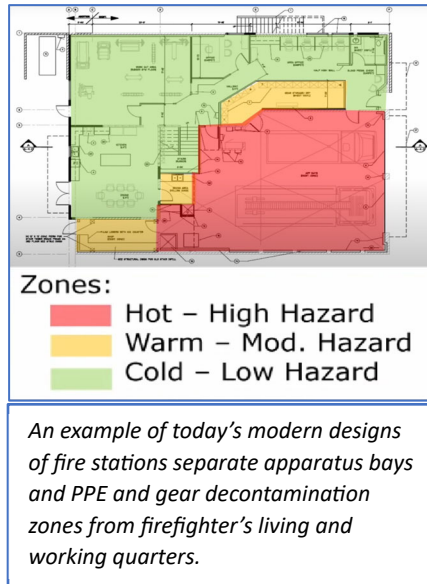
Overall Summary: The City of Westport's fire station is located at 121 W. Spokane Avenue. The 7,052 square foot structure was constructed in 1972. It has four apparatus bays and two shorter bays for aid units. The second floor has meeting space, office space, day room, kitchen, restrooms/showers and sleeping quarters. The physical condition of the facility is poor and the layout and function of the facility is inefficient for quick response and below standard for firefighter living and working conditions. RPM's multi-disciplined team of assessors have assessed eight fire stations of similar size in the last 3 years. The Westport Fire station facility is one of the fire stations in the worst physical condition, despite maintenance and repair efforts by the South Beach Regional Fire Authority staff.



Standards to Measure Against: Fire department design standards have evolved significantly since 1972 when the Fire Station was constructed. Today's modern fire stations focus on the health and safety of firefighters, while maintaining efficient space configurations, and highly reliable, redundant building systems. Timing is everything, and designs address efficient deployment to improve total response times of emergency calls.

Firefighter cancer rates have increased in the past thirty years to where cancer is now one of the leading causes of death among firefighters. Synthetics and glues and other building materials produce toxins and leave toxic residue from structure fires, contaminate firefighters' PPE clothing, gear, apparatus. Latest

design standards for fire departments separate different areas from one another to maintain high health and safety conditions. Apparatus Bays where engines create exhaust are isolated from personnel working zones, or the housing areas of the fire stations.



Ventilation systems create negative air zones so diesel fumes do not migrate from the apparatus bays. Areas for storing firefighting gear and PPE are located away from other areas, where the gear and PPE can dry, and off-gas away from occupied areas of the fire station. Newer fire station designs ensure eating, working, and sleeping areas for firefighters are isolated from PPE Stations and Apparatus Bays.

The Westport Fire Station does not adequately separate apparatus bays and PPE storage areas for off gassing, away from other areas of the station. Negative pressure ventilation systems do not exist (exhaust direct connections do exist). Work areas are congested and spaces are adapted to serve multiple work needs.

The 1972 facility is not built to today's seismic standards and building codes, or energy codes. This mission critical, essential facility is located in the inundation zone, and is highly susceptible to damage during any major seismic event or tsunami. Rebuilding and fortifying the facility to bring it up to modern design

standards, reliability, readiness, capacity, efficiency, and health and wellness standards for first responders, is not possible with the existing conditions, property size, configuration, and location.

Recommendation. It is our number one priority recommendation for the City of Westport is that the Fire Station located at 121 W. Spokane Avenue be rebuilt to today's design standards for reliability, readiness, capacity, efficiency, and health and wellness standards. With response times considered, a new fire station should be constructed outside of a seismic liquefaction zone and away from immediate tsunami inundation zone.

Cost and Funding Considerations. The estimated cost of a new fire station for design and construction is approximately \$9-10 million. Though this is an RFA expense and investment, costs have a direct impact on the residents and businesses of the City. The City's consideration and assistance with addressing funding will be essential, and engagement with the public will be critical to discussing the immediate need, costs, and benefits of a new fire station facility for the community. FEMA funding assistance and other funding sources may be available to reduce the direct taxation on the local residents and businesses when addressing emergency preparedness and readiness. Major development impact fees could also be considered to help offset the large capital costs of a new fire station facility.

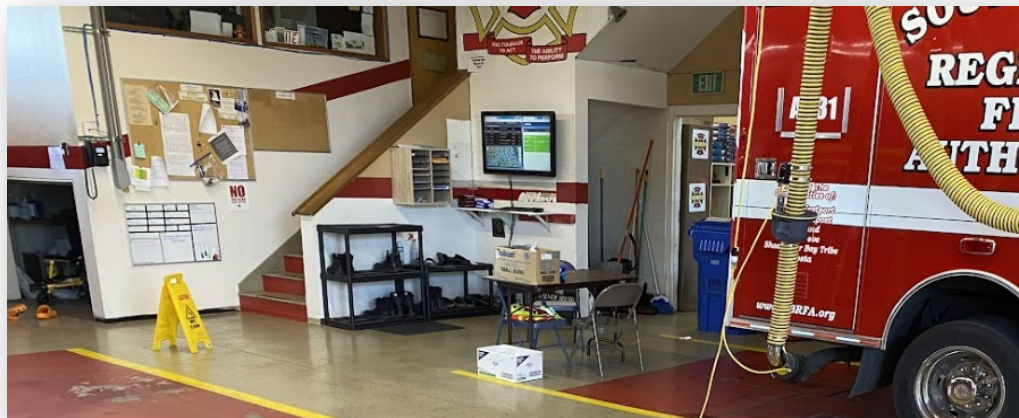
Following are a series of photographs of physical conditions observed August 2023 identifying existing conditions and noting any substandard conditions and specific concerns.



Apparatus Bays

There are four large apparatus bays and two smaller bays. The bays are not separated adequately from other adjoining areas. Off gassing of equipment and PPE into occupied areas can pose a health hazard. The bays are well lit and there is adequate spacing between the apparatus bays.

Recommendations for future design would include a rear entry roll-up door and a front exit roll up door to avoid backing up requirements of large, equipment, reducing risk of injury, or damage to expensive assets.



Apparatus Bays and Shared Work Areas

PPE, meeting spaces, and apparatus bays share areas with no physical separation and negative pressure ventilation systems.



Vehicle Exhaust Hoses

Vehicles are tied into exhaust hoses to eliminate engine exhaust fumes into bays and adjoining areas.



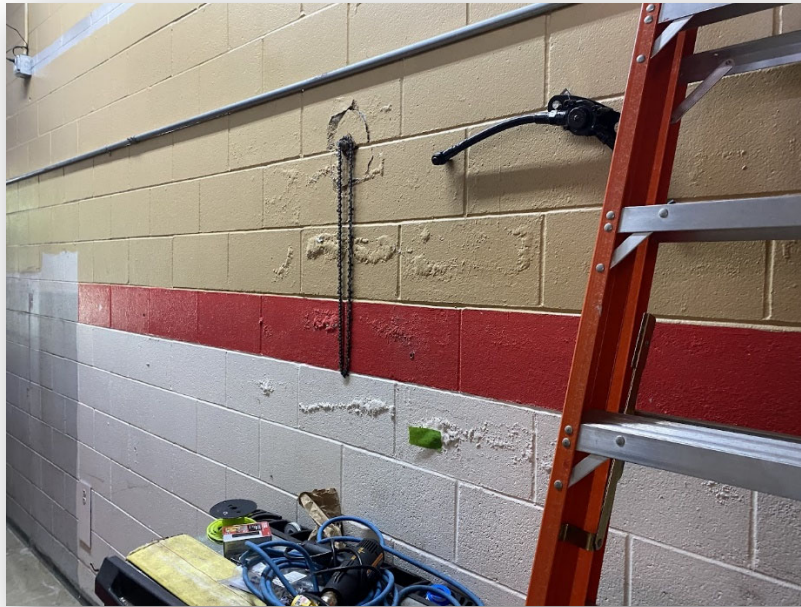
Exterior Back of Station

The back exterior of the facility includes a backup generator and fuel tanks. Both are located on concrete pads.



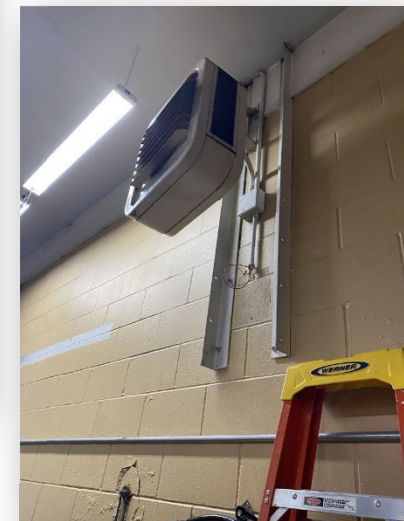
Multi-purpose, multi-use spaces

Most interior spaces are congested, and multiple uses occur in each space, due to limited square footage. Dispatch, communications, office space, flammable materials, and miscellaneous storage areas are combined in single interior spaces.



Interior Finishes, Fixtures, Equipment

The perimeter concrete masonry walls show few cracks or settling, however, there is indication of water intrusion (bubbling of paint surfaces on the CMU block). Aging systems include area ceiling-mounted heating, electrical systems, lighting, electrical panel.





Upper-Level Interior Spaces

The upper floor includes the day room, kitchen, and sleeping quarters, and large meeting/assembly areas and some small office space. Most interior finishes and furnishings are heavily worn from continuous use and needs replacement. Accommodations for firefighters are far substandard to industry standards.





Upper-Level Interior Spaces

Attic-level storage areas, office area and sleeping accommodations are shared, off main meeting/assembly area.

All interior finishes, fixtures, and furnishings are worn from continuous use and few upgrades over the years. Spaces are congested.





Upper floor exterior egress stair. Roofing is nearly at end of design life and should be replaced. Siding repairs, paint, and recaulking needed soon.



SECTION 9.C - PROJECT PROFILE SHEET - REGIONAL FIRE AUTHORITY



CFP Project No. 19

Project Purpose Statement	Replace Westport Fire Station for first responders' health and wellness, response reliability, facility function and efficiencies.							
Scope of Work Summary	This project should include immediate planning for a new fire station facility located in a less vulnerable area of the service territory (higher ground, non-liquefaction zone, but no major compromise to response times). The design should consider future growth needs and flexible design layout for expanding a "today's-need" design and size of a new fire station. New design should consider dual purpose for RFA emergency ops, firefighter training, health and wellness programs, and administrative space needs.							
Summary Schedule	2024	2025	2026	2027	2028	2029	Total 6-Yr	2030-2043
Planning	\$ 50,000						\$ 50,000	\$ 100,000
Design		\$ 900,000					\$ 900,000	\$ 500,000
Construction			\$ 4,500,000	\$ 4,500,000			\$ 9,000,000	\$ 2,000,000
Project Completion							\$ -	
Cost Summary	\$ 50,000	\$ 900,000	\$ 4,500,000	\$ 4,500,000	\$ -	\$ -	\$ 9,950,000	\$ 2,600,000
Funding Sources	2024	2025	2026	2027	2028	2029	Total 6-Yr	2030-2043
City Allocated Funds							\$ -	
State Funding -TBD							\$ -	
Federal Funding (specify)							\$ -	
Other Sources - TBD	\$ 50,000	\$ 900,000	\$ 4,500,000	\$ 4,500,000			\$ 9,950,000	\$ 2,600,000
Total Funding Sources	\$ 50,000	\$ 900,000	\$ 4,500,000	\$ 4,500,000	\$ -	\$ -	\$ 9,950,000	\$ 2,600,000
Balance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Project Sponsor (Specific City Staff or Designated Champion):					Notes: See Narrative of Findings Report and funding suggestions such as FEMA funding, RFA capital bond, impact fees for developers.			
Date Reviewed and Approved by Capital Projects Committee:								
Date Reviewed and Approved by City Council:								
Previous Year Priority Level project Ranking:								

SECTION 9.D - FACILITY CONDITION ASSESSMENT CHECKLIST - REGIONAL FIRE AUTHORITY

OVERALL ASSESSMENT STATEMENT	ASSESSMENT DATE:	8/16/2023	STATISTICS
Overall, the facility and site is in poor shape and should be replaced to an improved location for reliable emergency response, improved services, and to eliminate health concerns of the existing spaces for fire department employees. All systems are aging and have outlived their intended design life. Spaces do not accommodate fire department space needs and basic industry standards for	CONDITION ASSESSORS:	ADDRESS:	121 W Spokane Ave., Westport, WA 98595
	1 Bernie O'Donnell	AGE/EFFECTIVE AGE:	51 years
	2 Lisa Couret	BUILDING SQ. FT.:	7,052
	3 Jason Suzaka	SITE SQ. FT.:	9,600
	FINAL QA REVIEW:	ZONE:	Mixed Used Tourist Commercial 2
	1 Bernie O'Donnell	APPRAISED VALUE:	\$885,082

FACILITY SYSTEM OR COMPONENT ASSESSED	CONDITION ASSESSMENT RATING					REVIEWERS' CONTEMPORANEOUS NOTES
	VERY GOOD	GOOD	FAIR	POOR	VERY POOR	
A SUBSTRUCTURE						
A10 FOUNDATIONS						
A1010 STANDARD FOUNDATIONS			X			
A 1020 SPECIAL FOUNDATIONS (SPECIFY)						
A20 SUBGRADE ENCLOSURES						
A2010 BELOW-GRADE SOIL CONDITIONS					X	Liquefaction zone soils
A2020 BASEMENT, BELOW-GRADE WALLS						
A40 SLABS-ON-GRADE						
A4010 STANDARD SLABS-ON-GRADE				X		Minor settling noted
A4020 STRUCTURAL SLABS-ON-GRADE				X		Cracked slabs
A4030 SLAB TRENCHES						
A4040 PITS AND BASES						
A4090 SLAB-ON-GRADE COMPONENTS				X		Trench drains in poor condition
A60 WATER AND GAS MITIGATION						
A6010 BUILDING SUBDRAINAGE						
A6020 OFF-GASSING MITIGATION						
A90 SUBSTRUCTURE RELATED						
A9010 SUBSTRUCTURE SOILS				X		
A9020 SUBSTRUCT. WATER CONDITIONS				X		
A9030 SUBGRADE SLOPES			X			
A9040 SOIL TREATMENT						
B SHELL						
B10 SUPERSTRUCTURE						

		CONDITION ASSESSMENT RATING					REVIEWERS' CONTEMPORANEOUS NOTES
FACILITY SYSTEM OR COMPONENT ASSESSED		VERY GOOD	GOOD	FAIR	POOR	VERY POOR	
	B1010 FLOOR CONSTRUCTION				X		
	B1020 ROOF CONSTRUCTION				X		
	B1080 STAIR CONSTRUCTION				X		
B20 EXTERIOR VERTICAL ENCLOSURES							
	B2010 EXTERIOR WALLS				X		
	B2020 EXTERIOR WINDOWS				X		
	B2050 EXTERIOR DOORS AND GRILLES				X		
	B2070 EXTERIOR LOUVERS AND VENTS				X		
	B2080 EXTERIOR WALL APPURTENANCES						
	B2090 EXTERIOR WALL SPECIALTIES						
B30 EXTERIOR HORIZONTAL ENCLOSURES							
	B3010 ROOFING				X		
	B3020 ROOF APPURTENANCES				X		
	B3040 TRAFFIC BEARING ENCLOSURES						
	B3060 HORIZONTAL OPENINGS						
	B3080 OVERHEAD EXTERIOR ENCLOSURES				X		
C INTERIORS							
C10 INTERIOR CONSTRUCTION							
	C1010 INTERIOR PARTITIONS				X		
	C1020 INTERIOR WINDOWS				X		
	C1030 INTERIOR DOORS				X		
	C1040 INTERIOR GRILLES AND GATES				X		
	C1060 RAISED FLOOR CONSTRUCTION						
	C1070 SUSPENDED CEILINGS				X		
	C1090 INTERIOR SPECIALTIES				X		
C20 INTERIOR FINISHES							
	C2010 WALL FINISHES (SPECIFY)				X		
	C2020 INTERIOR FABRICATIONS (SPECIFY)				X		
	C2030 FLOORING (SPECIFY)				X		
	C2040 STAIR FINISHES (SPECIFY)				X		
	C2050 CEILING FINISHES (SPECIFY)				X		
	C2090 INTERIOR FINISHES (SPECIFY)				X		
D SERVICES							

		CONDITION ASSESSMENT RATING					REVIEWERS' CONTEMPORANEOUS NOTES
FACILITY SYSTEM OR COMPONENT ASSESSED		VERY GOOD	GOOD	FAIR	POOR	VERY POOR	
D10 CONVEYANCE							
	D1010 ELEVATORS, LIFTS						
	D1020 ESCALATORS AND MOVING WALKS						
	D1030 OTHER CONVEYING (SPECIFY)						
D20 PLUMBING							
	D2010 PLUMBING FIXTURES				X		
	D2010 DOMESTIC WATER DISTRIBUTION				X		
	D2020 SANITARY DRAINAGE				X		
	D2030 BUILDING PLUMBING SYSTEMS				X		
	D2040 RAIN WATER DRAINAGE				X		
	D2090 SPECIALTY PLUMBING (SPECIFY)				X		
D30 HEATING, VENTILATION, AIR CONDITION							
	D3010 FACILITY FUEL SYSTEMS			X			
	D3020 HEATING SYSTEMS				X		
	D3030 COOLING SYSTEMS				X		
	D3050 TERMINAL AND PACKAGE UNITS			X			
	D3060 HVAC CONTROLS AND INSTRUMENT					X	
	D3070 TESTING, ADJUSTING, BALANCING					X	
	D3090 OTHER HVAC, EQUIP. (SPECIFY)					X	
D40 FIRE PROTECTION							
	D4010 FIRE SUPPRESSION (SPRINKLERS)						
	D4020 STANDPIPE AND HOSE SYSTEMS						
	D4030 FIRE EXTINGUISHERS		X				
	D4090 OTHER FIRE PROTECTION (SPECIFY)						
D50 ELECTRICAL							
	D5010 ELECTRICAL SERVICE DISTRIBUTION				X		
	D5030 ELECTRICAL POWER & OUTLETS				X		
	D5040 LIGHTING				X		
	D5080 FIRE AND SMOKE ALARM SYSTEM			X			
	D5080 MISC. ELECTRICAL (SPECIFY)						
D60 COMMUNICATIONS							
	D6010 DATA COMMUNICATIONS				X		
	D6020 VOICE COMMUNICATIONS				X		

		CONDITION ASSESSMENT RATING					REVIEWERS' CONTEMPORANEOUS NOTES
FACILITY SYSTEM OR COMPONENT ASSESSED		VERY GOOD	GOOD	FAIR	POOR	VERY POOR	
	D6030 AUDIO-VIDEO COMMUNICATIONS				X		
	D6060 COMMUNICATIONS MONITORING						
	D6090 COMMUNICATIONS COMPONENTS						
	D70 ELECTRONIC SAFETY AND SECURITY						
	D7010 ACCESS, INTRUSION DETECTION				X		
	D7030 ELECTRONIC SURVEILLANCE				X		
	D7050 DETECTION AND ALARM						
	D7090 ELECTRONIC SECURITY (SPECIFY)						
	D80 INTEGRATED AUTOMATION						
	D8010 AUTOMATED FACILITIES CONTROLS						
	E EQUIPMENT AND FURNISHINGS						
	E10 EQUIPMENT						
	E1010 VEHICLE AND PEDESTRIAN EQUIP.			X			
	E1030 COMMERCIAL EQUIPMENT				X		
	E1040 INSTITUTIONAL EQUIPMENT				X		
	E1060 RESIDENTIAL EQUIPMENT				X		
	E1070 ENTERTAIN, RECREATE EQUIP.				X		
	E1090 OTHER EQUIPMENT (SPECIFY)				X		
	E20 FURNISHINGS						
	E2010 FIXED FURNISHINGS				X		
	E2020 MOVABLE FURNISHINGS				X		
	F SPECIALTY CONSTRUCTION AND DEMOL.						
	F10 SPECIAL CONSTRUCTION						
	F1010 SPECIAL STRUCTURES						
	F1020 SPECIAL CONSTRUCTION (SPECIFY)						
	F1030 SPECIAL CONSTRUCTION (SPECIFY)						
	F1040 SPECIAL FACILITIES (SPECIFY)						
	F1050 SPEC. CONTROLS AND INSTRUMENT				X		
	F20 SELECTIVE BUILDING DEMOLITION						
	F2010 BUILDING ELEMENTS DEMOLITION						
	F2020 HAZARDOUS COMPONENTS ABATE.				X		
	G BUILDING SITEWORK						
	G10 SITE CONDITIONS						

		CONDITION ASSESSMENT RATING					REVIEWERS' CONTEMPORANEOUS NOTES
FACILITY SYSTEM OR COMPONENT ASSESSED		VERY GOOD	GOOD	FAIR	POOR	VERY POOR	
	G1010 SITE CLEANLINESS			X			
	G1020 SITE DEMOLITION, RELOCATIONS						
	G1030 SITE EARTHWORK						
	G1040 HAZARDOUS WASTE REMEDIATION						
	G20 SITE IMPROVEMENTS						
	G2010 ROADWAYS				X		
	G2020 PARKING LOTS				X		
	G2030 PEDESTRIAN PAVING				X		
	G2040 SITE ACCESSORIES (SPECIFY)				X		
	G2050 LANDSCAPING				X		
	G30 SITE CIVIL AND MECHANICAL UTILITIES						
	G3010 WATER SUPPLY AND DISTRIBUTION			X			
	G3020 SANITARY SEWER SYSTEMS			X			
	G3030 STORM SEWER SYSTEMS			X			
	G3040 HEATING DISTRIBUTION			X			
	G3050 COOLING DISTRIBUTION SYSTEMS			X			
	G3060 FUEL DISTRIBUTION			X			
	G40 ELECTRICAL UTILITIES						
	G4010 ELECTRICAL DISTRIBUTION			X			
	G4020 EXTERIOR LIGHTING				X		
	G4030 EXTERIOR COMM. AND SECURITY				X		
	G4090 OTHER ELECTRIC UTILITIES (SPECIFY)						
	G90 OTHER SITE CONSTRUCTION						
	G9010 SERVICE TUNNELS						
	G9090 SITE FENCING				X		
	G9090 SITE ACCESSORIES, EQUIP. (SPECIFY)						
	G9090 SITE ADA ACCESSIBILITY				X		
	H GENERAL						
	SIGNAGE			X			
	ADA COMPLIANCE				X		
	OVERALL ACCESS AND EGRESS, ACCESSIBILITY						
	STORAGE AREAS					X	
	PUBLIC AREAS				X		

		CONDITION ASSESSMENT RATING					REVIEWERS' CONTEMPORANEOUS NOTES
FACILITY SYSTEM OR COMPONENT ASSESSED		VERY GOOD	GOOD	FAIR	POOR	VERY POOR	
	OVERALL LEVEL OF CLEANLINESS			X			
	OVERALL LEVEL OF SURFACE DAMAGES			X			
	GRAFFITI						
	DEBRIS OR ACCUMULATION OF SURPLUS				X		

SECTION 9.E - RECOMMENDED PREVENTATIVE MAINTENANCE SCHEDULE - REGIONAL FIRE AUTHORITY

NOTE: THIS RECOMMENDED PREVENTATIVE MAINTENANCE SCHEDULE IS INTENDED TO BE UTILIZED FOR BASIC PLANNING OF RESOURCES FOR PROPER PREVENTATIVE MAINTENANCE FOR ASSET PRESERVATION BASED ON CURRENT USES.	I = INSPECT	STREET ADDRESS	121 W Spokane Ave.
	C = CLEAN	CITY	Westport
	M = MAINTAIN	STATE	WA
	R = REPAIR	ZIP CODE	98595

FACILITY SYSTEM OR COMPONENT DESCRIPTION	DURATIONS					NOTES/COMMENTS
	WEEKLY	MONTHLY	QUARTER	BI-ANN	ANNUAL	
A SUBSTRUCTURE						
A10 FOUNDATIONS					I	Inspect annually for any cracks, settling
A1010 STANDARD FOUNDATIONS						
A 1020 SPECIAL FOUNDATIONS (SPECIFY)						
A20 SUBGRADE ENCLOSURES						
A2010 BELOW-GRADE SOIL CONDITIONS				I		Review all below grade soil conditions
A2020 BASEMENT, BELOW-GRADE WALLS				I		Review for cracks, water intrusion seasonally
A40 SLABS-ON-GRADE						
A4010 STANDARD SLABS-ON-GRADE				I		Review for cracks, water intrusion
A4020 STRUCTURAL SLABS-ON-GRADE						
A4030 SLAB TRENCHES						
A4040 PITS AND BASES				I,C		Inspect, free of water intrusion, cracks
A4090 SLAB-ON-GRADE COMPONENTS				I		Review embeds, anchors for adherence
A60 WATER AND GAS MITIGATION						
A6010 BUILDING SUBDRAINAGE			I,C			Inspect, clean for any water intrusion
A6020 OFF-GASSING MITIGATION						
A90 SUBSTRUCTURE RELATED						
A9010 SUBSTRUCTURE SOILS			I			Inspect for any soil movement, settlement
A9020 SUBSTRUCT. WATER CONDITIONS			I			Inspect for water intrusion
A9030 SUBGRADE SLOPES			I			Inspect for any sluffing or slope compromise
A9040 SOIL TREATMENT						
B SHELL						
B10 SUPERSTRUCTURE						
B1010 FLOOR CONSTRUCTION			I			Quarterly inspect floor stability, loading
B1020 ROOF CONSTRUCTION			I			Seasonal inspection of roof loading

		DURATIONS					NOTES/COMMENTS
FACILITY SYSTEM OR COMPONENT DESCRIPTION		WEEKLY	MONTHLY	QUARTER	BI-ANN	ANNUAL	
	B1080 STAIR CONSTRUCTION					I	Annual inspect of any loose treads, rails
	B20 EXTERIOR VERTICAL ENCLOSURES						
	B2010 EXTERIOR WALLS			I,C,R,M			Inspect, clean, maintain, repair damages
	B2020 EXTERIOR WINDOWS			I,C,R,M			Clean seasonally, recaulk if needed
	B2050 EXTERIOR DOORS AND GRILLES			I,C,R,M			Review door closers, locking, latching
	B2070 EXTERIOR LOUVERS AND VENTS				I,C,R,M		Review 6 months, rodents, cleanliness
	B2080 EXTERIOR WALL APPURTENANCES					I	Inspect attachments, signage as needed
	B2090 EXTERIOR WALL SPECIALTIES						
	B30 EXTERIOR HORIZONTAL ENCLOSURES						
	B3010 ROOFING			I,C,R,M			Free of debris, drains clear seasonally
	B3020 ROOF APPURTENANCES			I,C,R,M			Free of debris, drains clear seasonally
	B3040 TRAFFIC BEARING ENCLOSURES						
	B3060 HORIZONTAL OPENINGS						
	B3080 OVERHEAD EXTERIOR ENCLOSURES						
	C INTERIORS						
	C10 INTERIOR CONSTRUCTION						
	C1010 INTERIOR PARTITIONS		I,C,R,M				Mo. Interior systems inspection overall
	C1020 INTERIOR WINDOWS		I,C,R,M				Clean glass surfaces monthly
	C1030 INTERIOR DOORS		I,C,R,M				Inspect, clean, maintain, repair regular
	C1040 INTERIOR GRILLES AND GATES			I,C,M,R			Inspect gates operate as intended
	C1060 RAISED FLOOR CONSTRUCTION				I		6 mo for any loose access flooring
	C1070 SUSPENDED CEILINGS				I		Inspect 6 mo for damage, replacements
	C1090 INTERIOR SPECIALTIES						
	C20 INTERIOR FINISHES						
	C2010 WALL FINISHES (SPECIFY)		I,C,R,M				Mo. Interior systems/finishes inspect
	C2020 INTERIOR FABRICATIONS (SPECIFY)		I,C,R,M				Mo. Interior systems/finishes inspect
	C2030 FLOORING (SPECIFY)		I,C,R,M				Mo. Interior systems/finishes inspect
	C2040 STAIR FINISHES (SPECIFY)		I,C,R,M				Mo. Interior systems/finishes inspect
	C2050 CEILING FINISHES (SPECIFY)		I,C,R,M				Mo. Interior systems/finishes inspect
	C2090 INTERIOR FINISHES (SPECIFY)						
	D SERVICES						
	D10 CONVEYANCE						

		DURATIONS					NOTES/COMMENTS
FACILITY SYSTEM OR COMPONENT DESCRIPTION		WEEKLY	MONTHLY	QUARTER	BI-ANN	ANNUAL	
	D1010 ELEVATORS, LIFTS						
	D1020 ESCALATORS AND MOVING WALKS						
	D1030 OTHER CONVEYING (SPECIFY)						
D20 PLUMBING							
	D2010 PLUMBING FIXTURES	C		I,R,M			Quarterly inspection of any faucet leaks
	D2010 DOMESTIC WATER DISTRIBUTION					I	Annual backflow inspections
	D2020 SANITARY DRAINAGE				I,R,M		6 month inspection of sewer systems
	D2030 BUILDING PLUMBING SYSTEMS				I,R,M		6 month inspection of plumbing systems
	D2040 RAIN WATER DRAINAGE			I,C,M			Seasonal clean gutters, downspouts
	D2090 SPECIALTY PLUMBING (SPECIFY)						
D30 HEATING, VENTILATION, AIR CONDITION							
	D3010 FACILITY FUEL SYSTEMS			I	C,M	R	Quarterly inspection of fuel tanks
	D3020 HEATING SYSTEMS			I	C,M	R	Qtr. Inspect, replace filters, lube equip.
	D3030 COOLING SYSTEMS			I	C,M	R	Qtr. Inspect, replace filters, lube equip.
	D3050 TERMINAL AND PACKAGE UNITS			I	C,M	R	Qtr. Inspect, replace filters, lube equip.
	D3060 HVAC CONTROLS AND INSTRUMENT			I	C,M	R	Adjust seasonally HVAC controls, zoning
	D3070 TESTING, ADJUSTING, BALANCING	M					
	D3090 OTHER HVAC, EQUIP. (SPECIFY)						
D40 FIRE PROTECTION							
	D4010 FIRE SUPPRESSION (SPRINKLERS)						
	D4020 STANDPIPE AND HOSE SYSTEMS						
	D4030 FIRE EXTINGUISHERS		I			M,R	Inspect monthly, annual certification
	D4090 OTHER FIRE PROTECTION (SPECIFY)						
D50 ELECTRICAL							
	D5010 ELECTRICAL SERVICE DISTRIBUTION						
	D5030 ELECTRICAL POWER & OUTLETS						
	D5040 LIGHTING	I,C,M,R					Replace bulbs, ballasts as needed
	D5080 FIRE AND SMOKE ALARM SYSTEM	I,C,M,R					Regular inspect all life safety systems
	D5080 MISC. ELECTRICAL (SPECIFY)						
D60 COMMUNICATIONS							
	D6010 DATA COMMUNICATIONS	I,C,M,R					Regular inspect of data system security
	D6020 VOICE COMMUNICATIONS	I,C,M,R					Regular inspect of data system security
	D6030 AUDIO-VIDEO COMMUNICATIONS	I,C,M,R					Regular inspect of data system security

		DURATIONS					NOTES/COMMENTS
FACILITY SYSTEM OR COMPONENT DESCRIPTION		WEEKLY	MONTHLY	QUARTER	BI-ANN	ANNUAL	
	D6060 COMMUNICATIONS MONITORING	I,C,M,R					Regular inspect of data system security
	D6090 COMMUNICATIONS COMPONENTS						
	D70 ELECTRONIC SAFETY AND SECURITY						
	D7010 ACCESS, INTRUSION DETECTION	I,C,M,R					Regular inspection of access, security
	D7030 ELECTRONIC SURVEILLANCE	I,C,M,R					Regular inspection of access, security
	D7050 DETECTION AND ALARM	I,C,M,R					Regular inspection of access, security
	D7090 ELECTRONIC SECURITY (SPECIFY)						
	D80 INTEGRATED AUTOMATION						
	D8010 AUTOMATED FACILITIES CONTROLS						
	E EQUIPMENT AND FURNISHINGS						
	E10 EQUIPMENT						
	E1010 VEHICLE AND PEDESTRIAN EQUIP.	I,C,M,R					Inspect all mobile equipment for leaks
	E1030 COMMERCIAL EQUIPMENT		I,C,M,R				Per manufacturers' requirements
	E1040 INSTITUTIONAL EQUIPMENT		I,C,M,R				Per manufacturers' requirements
	E1060 RESIDENTIAL EQUIPMENT		I,C,M,R				Per manufacturers' requirements
	E1070 ENTERTAIN, RECREATE EQUIP.		I,C,M,R				Per manufacturers' requirements
	E1090 OTHER EQUIPMENT (SPECIFY)						
	E20 FURNISHINGS						
	E2010 FIXED FURNISHINGS	C		I,M,R			Clean daily as needed, repair as needed
	E2020 MOVABLE FURNISHINGS	C		I,M,R			Clean daily as needed, repair as needed
	F SPECIALTY CONSTRUCTION AND DEMOL.						
	F10 SPECIAL CONSTRUCTION						
	F1010 SPECIAL STRUCTURES						
	F1020 SPECIAL CONSTRUCTION (SPECIFY)						
	F1030 SPECIAL CONSTRUCTION (SPECIFY)						
	F1040 SPECIAL FACILITIES (SPECIFY)						
	F1050 SPEC. CONTROLS AND INSTRUMENT						
	F20 SELECTIVE BUILDING DEMOLITION						
	F2010 BUILDING ELEMENTS DEMOLITION						
	F2020 HAZARDOUS COMPONENTS ABATE.						
	G BUILDING SITEWORK						
	G10 SITE CONDITIONS						
	G1010 SITE CLEANLINESS	I,C,M,R					Daily site cleanup, trash removal

		DURATIONS					NOTES/COMMENTS
FACILITY SYSTEM OR COMPONENT DESCRIPTION		WEEKLY	MONTHLY	QUARTER	BI-ANN	ANNUAL	
	G1020 SITE DEMOLITION, RELOCATIONS						
	G1030 SITE EARTHWORK						
	G1040 HAZARDOUS WASTE REMEDIATION			I			Inspect quarterly for stored hazards
	G20 SITE IMPROVEMENTS						
	G2010 ROADWAYS			I			Inspect seasonally surface conditions
	G2020 PARKING LOTS		I	C	M,R		Inspect monthly, free of potholes
	G2030 PEDESTRIAN PAVING		I	C	M,R		Inspect trips, slips and falls potential
	G2040 SITE ACCESSORIES (SPECIFY)						
	G2050 LANDSCAPING		I,C,M		R		Monthly maintenance, seasonal repairs
	G30 SITE CIVIL AND MECHANICAL UTILITIES						
	G3010 WATER SUPPLY AND DISTRIBUTION			I,C,M,R			Quarter review of water supply systems
	G3020 SANITARY SEWER SYSTEMS			I,C,M,R			Quarter review of sewer systems
	G3030 STORM SEWER SYSTEMS			I,C,M,R			Quarter review of storm sewer systems
	G3040 HEATING DISTRIBUTION			I,C,M,R			
	G3050 COOLING DISTRIBUTION SYSTEMS			I,C,M,R			
	G3060 FUEL DISTRIBUTION			I,C,M,R			Review tanks, distribution lines
	G40 ELECTRICAL UTILITIES						
	G4010 ELECTRICAL DISTRIBUTION				I,C,M,R		6-month inspection, repair as needed
	G4020 EXTERIOR LIGHTING		I,C,M,R				Inspect monthly for illumination, bulbs
	G4030 EXTERIOR COMM. AND SECURITY	I	C,M,R				Regular inspections, correct immediately
	G4090 OTHER ELECTRIC UTILITIES (SPECIFY)						
	G90 OTHER SITE CONSTRUCTION						
	G9010 SERVICE TUNNELS						
	G9090 SITE FENCING	I	M	C		R	Inspect for function, security regular
	G9090 SITE ACCESSORIES, EQUIP. (SPECIFY)						
	G9090 SITE ADA ACCESSIBILITY		I	M,R			Inspect for impeded travel
	H GENERAL						
	SIGNAGE		I		C,M	R	Inspect code-compliance, repair
	ADA COMPLIANCE	I			C,M,R		Inspect for impeded travel, correct
	OVERALL ACCESS AND EGRESS, ACCESSIBILITY	I,C,M,R					
	STORAGE AREAS		I	M	C	R	Inspect monthly, organize quarter
	PUBLIC AREAS	I,C,M,R					Inspect and keep public areas clean

		DURATIONS					NOTES/COMMENTS
FACILITY SYSTEM OR COMPONENT DESCRIPTION		WEEKLY	MONTHLY	QUARTER	BI-ANN	ANNUAL	
	OVERALL LEVEL OF CLEANLINESS	I,C,M,R					Inspect and keep overall areas clean
	OVERALL LEVEL OF SURFACE DAMAGES	I		C,M,R			Clean, maintain, repair damages qtrly.
	GRAFFITI	I,C,M,R					Remove graffiti immediately
	DEBRIS OR ACCUMULATION OF SURPLUS	I,C,M,R					Remove debris, accumulation immed.

SECTION 9.F - RECOMMENDED PREVENTATIVE MAINTENANCE BUDGET - REGIONAL FIRE AUTHORITY

NOTE: THIS PREVENTATIVE MAINTENANCE BUDGET IS INTENDED TO CAPTURE MAJOR COSTS ANTICIPATED FOR MAINTENANCE AND REPAIR SERVICES ALIGNED WITH THE PREVENTATIVE MAINTENANCE SCHEDULE. NON-PRICED ITEMS ARE ASSUMED TO BE DEMINIMUS AND COVERED WITHIN THE OVERALL BUDGET ESTABLISHED. THIS BUDGET DOES NOT INCLUDE CAPITAL PROJECTS.

STREET ADDRESS	121 W Spokane Ave.
CITY	Westport
STATE	WA
ZIP CODE	98595

		ANNUAL BUDGET FOR MAINTENANCE AND REPAIRS					NOTES/COMMENTS
FACILITY SYSTEM OR COMPONENT ASSESSED	QUANTITY	UNIT	LABOR	MATERIAL	EQUIPMENT	TOTAL	
A SUBSTRUCTURE						\$ -	
A10 FOUNDATIONS						\$ -	
A1010 STANDARD FOUNDATIONS						\$ -	
A 1020 SPECIAL FOUNDATIONS (SPECIFY)						\$ -	
A20 SUBGRADE ENCLOSURES						\$ -	
A2010 BELOW-GRADE SOIL CONDITIONS						\$ -	
A2020 BASEMENT, BELOW-GRADE WALLS						\$ -	
A40 SLABS-ON-GRADE						\$ -	
A4010 STANDARD SLABS-ON-GRADE						\$ -	
A4020 STRUCTURAL SLABS-ON-GRADE						\$ -	
A4030 SLAB TRENCHES						\$ -	
A4040 PITS AND BASES						\$ -	
A4090 SLAB-ON-GRADE COMPONENTS						\$ -	
A60 WATER AND GAS MITIGATION						\$ -	
A6010 BUILDING SUBDRAINAGE						\$ -	
A6020 OFF-GASSING MITIGATION						\$ -	
A90 SUBSTRUCTURE RELATED						\$ -	
A9010 SUBSTRUCTURE SOILS						\$ -	
A9020 SUBSTRUCT. WATER CONDITIONS						\$ -	
A9030 SUBGRADE SLOPES						\$ -	
A9040 SOIL TREATMENT						\$ -	
B SHELL						\$ -	
B10 SUPERSTRUCTURE						\$ -	
B1010 FLOOR CONSTRUCTION						\$ -	
B1020 ROOF CONSTRUCTION						\$ -	

		ANNUAL BUDGET FOR MAINTENANCE AND REPAIRS						
FACILITY SYSTEM OR COMPONENT ASSESSED		QUANTITY	UNIT	LABOR	MATERIAL	EQUIPMENT	TOTAL	NOTES/COMMENTS
	B1080 STAIR CONSTRUCTION						\$ -	
	B20 EXTERIOR VERTICAL ENCLOSURES						\$ -	
	B2010 EXTERIOR WALLS						\$ -	
	B2020 EXTERIOR WINDOWS	4	QTRS	\$ 150	\$ 150	\$ 150	\$ 1,800	Window cleaning 3 months
	B2050 EXTERIOR DOORS AND GRILLES						\$ -	
	B2070 EXTERIOR LOUVERS AND VENTS						\$ -	
	B2080 EXTERIOR WALL APPURTENANCES						\$ -	
	B2090 EXTERIOR WALL SPECIALTIES						\$ -	
	B30 EXTERIOR HORIZONTAL ENCLOSURES						\$ -	
	B3010 ROOFING	16	HRS	\$ 95	\$ 50	\$ 50	\$ 3,120	
	B3020 ROOF APPURTENANCES						\$ -	
	B3040 TRAFFIC BEARING ENCLOSURES						\$ -	
	B3060 HORIZONTAL OPENINGS						\$ -	
	B3080 OVERHEAD EXTERIOR ENCLOSURES						\$ -	
C INTERIORS							\$ -	
	C10 INTERIOR CONSTRUCTION						\$ -	
	C1010 INTERIOR PARTITIONS						\$ -	
	C1020 INTERIOR WINDOWS	4	QTRS	\$ 75	\$ 75	\$ 75	\$ 900	Window cleaning 3 months
	C1030 INTERIOR DOORS	1	ALLOW		\$ 500		\$ 500	Clean, adjust, repairs
	C1040 INTERIOR GRILLES AND GATES						\$ -	
	C1060 RAISED FLOOR CONSTRUCTION						\$ -	
	C1070 SUSPENDED CEILINGS	1	ALLOW		\$ 500		\$ 500	
	C1090 INTERIOR SPECIALTIES						\$ -	
	C20 INTERIOR FINISHES						\$ -	
	C2010 WALL FINISHES (SPECIFY)	1	ALLOW		\$ 1,500		\$ 1,500	Painting allowance
	C2020 INTERIOR FABRICATIONS (SPECIFY)						\$ -	
	C2030 FLOORING (SPECIFY)	1	ALLOW		\$ 2,500		\$ 2,500	Allow for periodic clean
	C2040 STAIR FINISHES (SPECIFY)						\$ -	
	C2050 CEILING FINISHES (SPECIFY)						\$ -	
	C2090 INTERIOR FINISHES (SPECIFY)						\$ -	
D SERVICES							\$ -	
	D10 CONVEYANCE						\$ -	
	D1010 ELEVATORS, LIFTS						\$ -	

		ANNUAL BUDGET FOR MAINTENANCE AND REPAIRS						
FACILITY SYSTEM OR COMPONENT ASSESSED		QUANTITY	UNIT	LABOR	MATERIAL	EQUIPMENT	TOTAL	NOTES/COMMENTS
	D1020 ESCALATORS AND MOVING WALKS						\$ -	
	D1030 OTHER CONVEYING (SPECIFY)						\$ -	
D20 PLUMBING							\$ -	
	D2010 PLUMBING FIXTURES	4	QTRS		\$ 150		\$ 600	Plumbing repairs
	D2010 DOMESTIC WATER DISTRIBUTION						\$ -	
	D2020 SANITARY DRAINAGE	4	QTRS		\$ 150		\$ 600	Sewer repairs
	D2030 BUILDING PLUMBING SYSTEMS						\$ -	
	D2040 RAIN WATER DRAINAGE	4	QTRS		\$ 100		\$ 400	Clean gutters, downspouts
	D2090 SPECIALTY PLUMBING (SPECIFY)						\$ -	
D30 HEATING, VENTILATION, AIR CONDITION							\$ -	
	D3010 FACILITY FUEL SYSTEMS						\$ -	
	D3020 HEATING SYSTEMS						\$ -	
	D3030 COOLING SYSTEMS						\$ -	
	D3050 TERMINAL AND PACKAGE UNITS						\$ -	
	D3060 HVAC CONTROLS AND INSTRUMENT						\$ -	
	D3070 TESTING, ADJUSTING, BALANCING						\$ -	
	D3090 OTHER HVAC, EQUIP. (SPECIFY)						\$ -	
D40 FIRE PROTECTION							\$ -	
	D4010 FIRE SUPPRESSION (SPRINKLERS)						\$ -	
	D4020 STANDPIPE AND HOSE SYSTEMS						\$ -	
	D4030 FIRE EXTINGUISHERS						\$ -	
	D4090 OTHER FIRE PROTECTION (SPECIFY)						\$ -	
D50 ELECTRICAL							\$ -	
	D5010 ELECTRICAL SERVICE DISTRIBUTION						\$ -	
	D5030 ELECTRICAL POWER & OUTLETS						\$ -	
	D5040 LIGHTING	1	ALLOW		\$ 500		\$ 500	Bulb, ballast replacements
	D5080 FIRE AND SMOKE ALARM SYSTEM						\$ -	
	D5080 MISC. ELECTRICAL (SPECIFY)						\$ -	
D60 COMMUNICATIONS							\$ -	
	D6010 DATA COMMUNICATIONS						\$ -	
	D6020 VOICE COMMUNICATIONS						\$ -	
	D6030 AUDIO-VIDEO COMMUNICATIONS						\$ -	
	D6060 COMMUNICATIONS MONITORING						\$ -	

		ANNUAL BUDGET FOR MAINTENANCE AND REPAIRS						
FACILITY SYSTEM OR COMPONENT ASSESSED		QUANTITY	UNIT	LABOR	MATERIAL	EQUIPMENT	TOTAL	NOTES/COMMENTS
	D6090 COMMUNICATIONS COMPONENTS						\$ -	
	D70 ELECTRONIC SAFETY AND SECURITY						\$ -	
	D7010 ACCESS, INTRUSION DETECTION						\$ -	
	D7030 ELECTRONIC SURVEILLANCE						\$ -	
	D7050 DETECTION AND ALARM						\$ -	
	D7090 ELECTRONIC SECURITY (SPECIFY)						\$ -	
	D80 INTEGRATED AUTOMATION						\$ -	
	D8010 AUTOMATED FACILITIES CONTROLS						\$ -	
E EQUIPMENT AND FURNISHINGS							\$ -	
	E10 EQUIPMENT						\$ -	
	E1010 VEHICLE AND PEDESTRIAN EQUIP.						\$ -	
	E1030 COMMERCIAL EQUIPMENT						\$ -	
	E1040 INSTITUTIONAL EQUIPMENT						\$ -	
	E1060 RESIDENTIAL EQUIPMENT						\$ -	
	E1070 ENTERTAIN, RECREATE EQUIP.						\$ -	
	E1090 OTHER EQUIPMENT (SPECIFY)						\$ -	
	E20 FURNISHINGS						\$ -	
	E2010 FIXED FURNISHINGS						\$ -	
	E2020 MOVABLE FURNISHINGS	1	ALLOW		\$ 5,500		\$ 5,500	Furniture, bedding, day rm, offices,
F SPECIALTY CONSTRUCTION AND DEMOL.							\$ -	
	F10 SPECIAL CONSTRUCTION						\$ -	
	F1010 SPECIAL STRUCTURES						\$ -	
	F1020 SPECIAL CONSTRUCTION (SPECIFY)						\$ -	
	F1030 SPECIAL CONSTRUCTION (SPECIFY)						\$ -	
	F1040 SPECIAL FACILITIES (SPECIFY)						\$ -	
	F1050 SPEC. CONTROLS AND INSTRUMENT						\$ -	
	F20 SELECTIVE BUILDING DEMOLITION						\$ -	
	F2010 BUILDING ELEMENTS DEMOLITION						\$ -	
	F2020 HAZARDOUS COMPONENTS ABATE.						\$ -	
G BUILDING SITEWORK							\$ -	
	G10 SITE CONDITIONS						\$ -	
	G1010 SITE CLEANLINESS						\$ -	
	G1020 SITE DEMOLITION, RELOCATIONS						\$ -	

		ANNUAL BUDGET FOR MAINTENANCE AND REPAIRS						
FACILITY SYSTEM OR COMPONENT ASSESSED		QUANTITY	UNIT	LABOR	MATERIAL	EQUIPMENT	TOTAL	NOTES/COMMENTS
	G1030 SITE EARTHWORK						\$ -	
	G1040 HAZARDOUS WASTE REMEDIATION						\$ -	
G20 SITE IMPROVEMENTS							\$ -	
	G2010 ROADWAYS						\$ -	
	G2020 PARKING LOTS	1	ANNUAL		\$ 500		\$ 500	Restriping annual
	G2030 PEDESTRIAN PAVING						\$ -	
	G2040 SITE ACCESSORIES (SPECIFY)						\$ -	
	G2050 LANDSCAPING	4	QTR		\$ 200		\$ 800	Seasonal beautification
G30 SITE CIVIL AND MECHANICAL UTILITIES							\$ -	
	G3010 WATER SUPPLY AND DISTRIBUTION						\$ -	
	G3020 SANITARY SEWER SYSTEMS						\$ -	
	G3030 STORM SEWER SYSTEMS						\$ -	
	G3040 HEATING DISTRIBUTION						\$ -	
	G3050 COOLING DISTRIBUTION SYSTEMS						\$ -	
	G3060 FUEL DISTRIBUTION						\$ -	
G40 ELECTRICAL UTILITIES							\$ -	
	G4010 ELECTRICAL DISTRIBUTION						\$ -	
	G4020 EXTERIOR LIGHTING						\$ -	
	G4030 EXTERIOR COMM. AND SECURITY						\$ -	
	G4090 OTHER ELECTRIC UTILITIES (SPECIFY)						\$ -	
G90 OTHER SITE CONSTRUCTION							\$ -	
	G9010 SERVICE TUNNELS						\$ -	
	G9090 SITE FENCING						\$ -	
	G9090 SITE ACCESSORIES, EQUIP. (SPECIFY)						\$ -	
	G9090 SITE ADA ACCESSIBILITY						\$ -	
H GENERAL							\$ -	
	SIGNAGE						\$ -	
	ADA COMPLIANCE						\$ -	
	OVERALL ACCESS AND EGRESS, ACCESSIBILITY	4	QTR		\$ 150		\$ 600	
	STORAGE AREAS						\$ -	
	PUBLIC AREAS						\$ -	
	OVERALL LEVEL OF CLEANLINESS						\$ -	
	OVERALL LEVEL OF SURFACE DAMAGES	1	ALLOW		\$ 500		\$ 500	Repairs

ANNUAL BUDGET FOR MAINTENANCE AND REPAIRS							
FACILITY SYSTEM OR COMPONENT ASSESSED	QUANTITY	UNIT	LABOR	MATERIAL	EQUIPMENT	TOTAL	NOTES/COMMENTS
GRAFFITI						\$ -	
DEBRIS OR ACCUMULATION OF SURPLUS						\$ -	
TOTAL						<u><u>\$ 20,820</u></u>	